

**LAND WEST OF WILCOT ROAD, PEWSEY**

Design and Access Statement

DLA.2273.DAS.RPT.03.V5

July 2025

On behalf of

**DUNMOORE** 

# DUNMOORE

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**Document Title:**

Land West of Wilcot Road, Pewsey: Design and Access Statement

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# 1.0 INTRODUCTION



# 1 INTRODUCTION

## 1.1 Executive Statement

1.1.1 This Design and Access Statement (DAS) has been prepared by Davies Landscape Architects on behalf of the Dunmoore Group to accompany an Outline planning application for 27 dwellings with associated open space, landscaping and access west of Wilcot Road, Pewsey.

1.1.2 All matters are reserved other than access. Accordingly, the relevant plans and design material set out in this statement should be considered for illustrative purposes only.

1.1.3 The DAS explains the design approach that has been taken to inform the proposals and demonstrates how the scheme creates a high quality, sustainable development that successfully responds to its settlement edge location and the local context of the site.

1.1.4 The findings of the LVIA concluded that the site has capacity to accommodate the development, without significantly altering the landscape character of the North Wessex Downs National Landscape or wider visual amenity.

## 1.2 Structure of the Document

1.2.1 The document has been separated into the following chapters which follow the design process and outline the factors which have determined the final layout as follows.

- **1. Introduction** - Provides the relevant background to the scheme, including the policy context and an overview of the pre-application consultation.
- **2. Site Context** - Provides background analysis and information about the site and its wider context.
- **3. Opportunities and Site Considerations** - Summarises the findings of the various technical assessments to identify any constraints and opportunities.
- **4. Design Analysis and Evolution** - Outlines the design principles and concepts that have been applied to the development and demonstrates how the proposed development's context has influenced the design.



Figure 01 - Illustrative Masterplan

### 1.3 The Design Team

1.3.1 The application has been produced in conjunction with a multidisciplinary project team. This DAS should be read in conjunction with the following reports and plans that accompany the application:



Landscape and Visual Impact Assessment, Design and Access Statement, Masterplanning



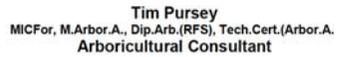
Planning Statement



Ecological Appraisal and Biodiversity Net Gain



Transport Assessment



Arboricultural Assessment



Flood Risk Assessment and Surface Water Drainage Strategy



Nutrient Neutral Assessment and Mitigation Strategy

### 1.4 Project Description

- 1.4.1 The Illustrative Masterplan shown in Figure 01 has evolved in response to the constraints and the objectives detailed as part of the overall landscape strategy and mitigation measures. This has included integration of existing valued landscape features, and a new naturalised landscape buffer that creates a defensible western boundary.
- 1.4.2 The landscape-led process aims to achieve a well designed and appropriate setting that reflects the desired qualities of Pewsey and the North Wessex Downs National Landscape
- 1.4.3 The proposals will also deliver a mix of dwellings to contribute towards meeting Wiltshire Council's housing requirements.
- 1.4.4 Table 01 shows an indicative mix of housing on which the supplied Illustrative Masterplan is based.

Table 01 Accommodation Schedule

Wilcot Rd Pewsey - Accommodation Schedule			
Mix	Plot No	Tenure	Type
<b>Affordable</b>			
	5	HO	2 Bed
	6	HO	3 Bed
	7	HO	3 Bed
	12	AR	3 bed
	13	AR	3 bed
	17	SR	3 Bed
	18	HO	2 Bed
	19	HO	3 Bed
	20	SR	4Bed
	21	SR	2 Bed
	22	AR	2 Bed
<b>Total Houses</b>	<b>11</b>		

Wilcot Rd Pewsey - Accommodation Schedule			
Mix	Plot No	Tenure	Type
<b>Market</b>			
	1	Semi	3 Bed
	2	Semi	3 Bed
	3	Semi	2 Bed
	4	Semi	2 Bed
	7	Semi	3 Bed
	8	Semi	3 Bed
	9	Semi	3 Bed
	10	Semi	2 Bed
	11	Semi	3 Bed
	14	Detached	4 Bed
	15	Detached	4 Bed
	16	Detached	4 Bed
	23	Terraced	3 Bed
	24	Terraced	3 Bed
	25	Terraced	3 Bed
	26	Semi	3 Bed
	27	Semi	3 Bed
<b>Total Houses</b>	<b>16</b>		

## 1.5 Planning Policy Overview

1.5.1 The planning policy framework for the site is set out in the development plan and the material considerations of the NPPF. Full details of the planning case and the relationship between development plan policy and material considerations is provided in the Planning Statement prepared by Armstrong Rigg Planning, which accompanies this application.

1.5.2 The proposed development site lies adjacent to the Wiltshire Core Strategy 2015 - 2026 Settlement Framework boundary to Pewsey. Pewsey Neighbourhood Development Plan 2006 - 2026 sets out guidelines for new development within the village, however there is no specific policy for the proposed development. Kennet District Local Plan (2011 Saved Policies) also applies. The Wiltshire Local Plan Review Pre-Submission Draft Regulation 19 Version (September 2023) is currently at examination stage.

1.5.3 The site lies within the North Wessex Downs National Landscape (formerly AONB), for which the AONB Management Plan 2019 - 2024 applies (document life extended by NWDNL until circa late 2025). The Special Qualities of the National Landscape are grouped within: Landscape Attractions; Land Management; Biodiversity; Historic Environment; Natural Resources; Development; Communities; Leisure and Tourism.

1.5.4 The development proposals will deliver 40% affordable housing, which is policy-compliant. Table 02 provides a summary of the relevant local design, placemaking, green infrastructure and landscape policies.

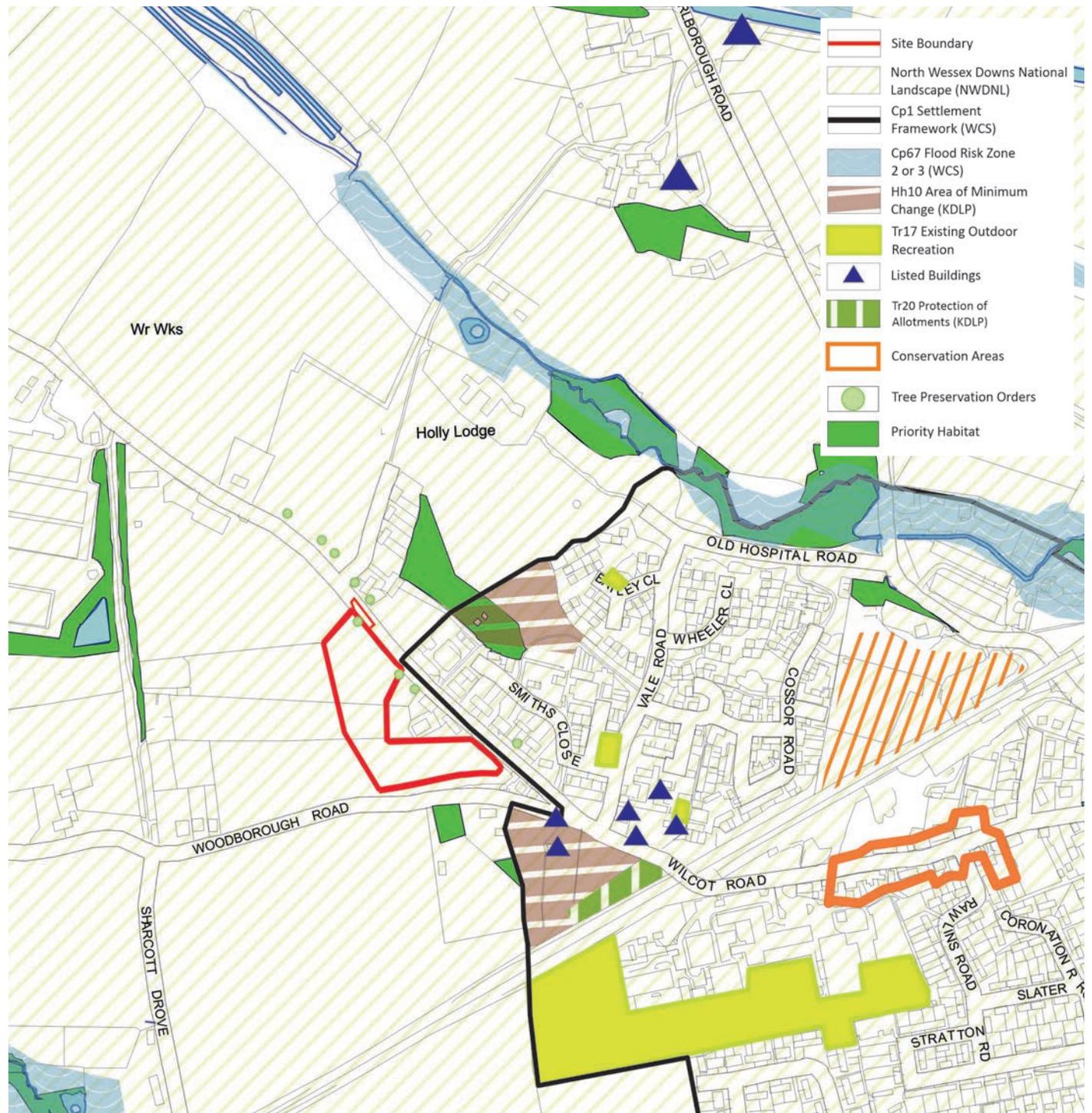


Figure 02 - Planning Policy & Relevant Designations

Table 02 - Relevant Policy

	RELEVANT POLICY	LANDSCAPE EMPHASIS AND DESIGN RESPONSES
NATIONAL PLANNING POLICY FRAMEWORK (NPPF) DECEMBER 2024	<b>8 - Promoting Healthy and Safe Communities</b>	Landscape and visual elements that are considered important when creating healthy and inclusive communities are; <ul style="list-style-type: none"> <li>• Positive planning for social interaction through easy accessibility, open space, use of shared spaces and community facilities;</li> <li>• Promote healthy lifestyles, social and cultural well being;</li> <li>• Safe and accessible environments, including clear and legible pedestrian routes and high quality public space which encourage the active and continual use of public spaces; and</li> <li>• Access to high quality open space and opportunities for sport and recreation.</li> </ul>
	<b>12 - Achieving Well - Designed and Beautiful Places</b>	Paragraph 135 outlines the importance of good architecture, layout and landscaping in creating visually attractive design. Layouts should positively respond and improve the local character and history of the built environment and landscape. The overriding policy sets out the need to establish a strong sense of place, through good urban design, creating places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users.  Paragraph 136 sets out the importance of trees within design to create character, quality urban environments and mitigate climate change. Layouts should ensure new streets are tree lined and include opportunities for additional trees within areas such as parks and communities orchards. Existing trees should be retained where possible.
	<b>15 - Conserving And Enhancing The Natural Environment</b>	The policy reflects the requirement to contribute to and enhance the local and natural environment. 'Valued' landscapes and those with biodiversity and geological value should be protected and enhanced, and decisions should be compliant in enhancing the intrinsic positive features that contribute to both the landscape character, natural capital and ecosystems services. Para 037 of the Natural Environment Planning Practice Guidance (NE PPG) identifies LCAs as an important tool within this process. NPPF Para 185 and NE PPG paras 005 & 006 reiterate the importance of Green Infrastructure on ecosystems services and landscape character.
LOCAL PLANNING POLICY Wiltshire Core Strategy (2015 - 2026) Adopted January 2015 & Saved Policies	<b>Core Policy 18: Pewsey Area Strategy</b>	Identifies Pewsey as a local service centre.
	<b>Policy 50: Biodiversity and Geodiversity</b>	There is an expectation that features of nature conservation and geological value shall be retained, buffered, and managed favourably in order to maintain their ecological value, connectivity and functionality in the long-term.  Biodiversity Net Gain and GI landscape/strategy addresses this requirement.
	<b>Policy 51: Landscape</b>	Proposals will need to be informed by published Landscape Character Assessments and demonstrate that the following aspects of landscape character have been conserved and where possible enhanced through sensitive design, landscape mitigation and enhancement measures: i. The locally distinctive pattern and species composition of natural features such as trees, hedgerows, woodland, field boundaries, watercourses and waterbodies; ii. The locally distinctive character of settlements and their landscape settings; iii. The separate identity of settlements and the transition between man-made and natural landscapes at the urban fringe; iv. Visually sensitive skylines, soils, geological and topographical features; v. Landscape features of cultural, historic and heritage value; vi. Important views and visual amenity; vii. Tranquillity and the need to protect against intrusion from light pollution, noise, and motion; viii. Landscape functions including places to live, work, relax and recreate; ix. Special qualities of Areas of Outstanding Natural Beauty (AONBs) and the New Forest National Park, where great weight will be afforded to conserving and enhancing landscapes and scenic beauty.  Proposals have evolved in consideration of published landscape character background, and the considerations noted above and the findings of the LVIA which does not consider the proposed development to be inappropriate in terms of the landscape character of the Vale of Pewsey or in terms of visual amenity, and changes on the site itself would remain well contained within the village edge and would not ripple out to the high quality wider landscapes of the vale.
	<b>Policy 52: Green infrastructure</b>	Development shall make provision for the retention and enhancement of Wiltshire's green infrastructure network, and shall ensure that suitable links to the network are provided and maintained.  The proposals include notable addition of hedgerow and tree planting structure which would extend the existing network, and a pedestrian link to Woodborough Road.  Developers will be required to make provision for accessible open spaces in accordance with the requirements of the adopted Wiltshire Open Space Standards. The Wiltshire Open Space Assessment Update (2020) at table 42 - see Appendix B, indicates the site only reaches one of the rural typology thresholds - Recreation Space - which at a standard of 2ha per 1,000 people equates to 20m per person. The document indicates an average standard of 2.3 per persons per dwelling which equates to 62.1 persons. Therefore the requirement is for 0.124ha Recreation Space The illustrative layout indicates the landscape led scheme for the site would exceed that requirement.
	<b>Policy 57: Ensuring high quality design and place shaping</b>	Development is expected to create a strong sense of place through drawing on the local context and being complementary to the locality. Applications for new development must be accompanied by appropriate information to demonstrate how the proposal will make a positive contribution to the character of Wiltshire.  As demonstrated within the DAS the development reflects the context of the adjacent village and its location on the transitional edge of the rural landscape, proving an opportunity to strengthen the village edge in this location.
NEIGHBOURHOOD PLAN Pewsey NDP 2006 – 2026	<b>Kenet District Local Plan 2011 Saved Policy NR7: Protection of the Landscape</b>	Protecting the distinctive landscape character of the district, supported by a landscape character assessment.  The LVIA considers both the published LCA guidance and site survey to ensure the proposals reflect local character.
	<b>Theme 3: Policy 5 - The Natural Environment</b>	Development should seek to maintain and enhance wildlife habitat through suitable landscaping and green infrastructure. Proposals for enhancement of landscape and nature, by incorporating features at the design stage, will be considered favourably.  Proposed BNG and SUDS, and tree and hedgerow planting would support this policy.

Table 02 - Relevant Policy

	RELEVANT POLICY	LANDSCAPE EMPHASIS AND DESIGN RESPONSES
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">INTRODUCTION</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">NWDNL PLANNING POLICY North Wessex Downs National Landscape Management Plan 2019-2024</p>	<p><b>Landscape Policies</b></p>	<p>LA 02- Seek to identify and address the main factors that threaten the special qualities of the AONB landscape, e.g. water abstraction, agricultural practices including diffuse pollution of watercourses, lack of woodland management, damage to historic sites, and built development.</p> <p>LA03- Use the North Wessex Downs Integrated Landscape Character Assessment to inform policy and decision making across the AONB and its setting.</p> <p>LA04- Support and promote good practice across all sectors that conserves and enhances the character and qualities of the North Wessex Downs landscape.</p> <p>LA05- Support and encourage efforts to conserve and explain the rich heritage of the North Wessex Downs, including archaeological sites.</p> <p>LA06- Ensure that all development in or affecting the setting of the AONB conserves and enhances the character, qualities and heritage of the North Wessex Downs landscape.</p> <p>LVIA consider the Special Qualities and key characteristics of the Vale of Pewsey LCA.</p>
	<p><b>Biodiversity policies</b></p>	<p>B04- Support and encourage work to conserve and enhance the biodiversity of the North Wessex Downs through support for landscape-scale projects for habitat management, restoration and creation, particularly where they deliver identified priorities within areas identified as offering the best opportunities for investment in biodiversity, including through management of existing wildlife sites and valuable habitat to the highest standards.</p> <p>B05- Support land managers in restoring, creating and maintaining habitats for key species, including threatened arable plants, invertebrates and farmland birds.</p> <p>B12- Encourage and support efforts to identify the extent of spread and damage caused by invasive non-native species, to eradicate or contain their spread, and to restore habitats and wildlife populations damaged by them.</p> <p>B16- Support and encourage implementation measures to deliver net gain to nature to minimise the effects of development and to address key issues affecting biodiversity resources in the AONB and its setting.</p> <p>Proposed BNG provision and GI/Landscape Strategy addresses.</p>
	<p><b>Natural Resources policies</b></p>	<p>NR10- Promote Sustainable Drainage Systems (SuDS) and natural flood management initiatives to maximise benefits, for example through restoration of traditional water meadow systems or shallow winter flooding in the floodplain to benefit people and wildlife.</p> <p>NR12- Seek to develop a better understanding of the likely implications of climate change on the environment and economy of the North Wessex Downs.</p> <p>NR17- Promote carbon sequestration as an objective and benefit of habitat creation and management of woodland and permanent grassland.</p> <p>SUDS have been included in the proposed development.</p>
	<p><b>Development policies</b></p>	<p>DE01- Encourage all proposals for new development, redevelopment and re-use to conserve and enhance the natural beauty of the North Wessex Downs. Oppose forms of development that fail to conserve and enhance the character and quality of the AONB and its setting and to make reference to the AONB's published guidance.</p> <p>DE02- Encourage high standards of design, comprehensive landscaping where required, traditional building styles, energy conservation and innovation that respect historic settlement patterns and the distinctive character of the North Wessex Downs.</p> <p>DE05- Encourage the consideration of landscape, including historic landscape, impacts at the earliest opportunity in the planning process through preparation of Landscape and Visual Impact Assessment, Landscape and Visual Appraisal and Environmental Impact Assessment reports as appropriate to the location.</p> <p>DE06- Encourage, support and promote the expansion of 'net gain' principles developed for biodiversity, to apply to wider natural capital assets, including in particular to landscape and natural beauty.</p> <p>DE08- Avoid and reduce light pollution, including control of lighting schemes or other developments that threaten the integrity of dark night skies over the North Wessex Downs.</p> <p>DE09- Encourage, support and promote good practice in the design and management of roads in the AONB and its setting that conserves and enhances the character of the landscape and settlements.</p> <p>DE12- Encourage the retention of existing and provision of new 'Green Infrastructure'. Ensure that Green Infrastructure (including new or enhanced biodiversity assets) is incorporated within the area of all 'major developments', both within and in the setting of the AONB.</p> <p>These policies generally reflect those included in the Local Plans. In addition, it is noted that emphasis is placed on road design and its implications for setting and lighting. A number of stargazing sites have been identified in the AONB, however none are proximate to the site, which lies adjacent to dwellings and lit football/rugby pitches on the edge of the village. Guidance for lighting is provided by the AONB on their website: "Use lights only when and where needed; Use only as much light as needed; Consider the colour temperature of lights; Shine lights down, not up."</p>

## 2.0 SITE CONTEXT



## 2 SITE CONTEXT

### 2.1 Site Location

2.1.1 The site equates to approximately 1.4ha, lying within the jurisdiction of Wiltshire Council, located on the western edge of Pewsey (OS reference 15454 60358).

2.1.2 Pewsey is located within the Vale of Pewsey, six miles to the south of Marlborough and 15 miles to the east of Devizes. Local villages in the area include Wilcot, 1.5 miles to the north-west.

2.1.3 The landscape and setting in which the site is experienced includes inter-war properties overlooking Wilcot Road to the east and a mixture of pre and post-war dwellings to the south, overlooking Woodborough Road. To the west and within the site are paddocks denoted by low-level fences and paddock tape. Several detached dwellings are located further to the west. Pewsey Rugby and Football Club and playing pitches are located to the north.

### 2.2 Access

2.2.1 The principal access to Pewsey in the area is from Wilcot Road and Woodborough Road. The site's nearest bus stop is 300m to the south-east, at Vale School. The nearest train station is in Pewsey, which provides mainline links to major settlements including London and to the south-west. There is no public right of way (PRoW) passing through or along the boundary of the site. The nearest is PRoW PEWS15 which follows a well-treed track to the west of the site.

2.2.2 Vehicular access to the site is available via Wilcot Road.

2.2.3 Woodborough Road runs parallel with the southern boundary of the site and is a designated "Quiet Lane".

2.2.4 National Cycle Route no. 4 runs along Woodborough Road and also forms part of the Kennet and Avon Cycle Route stretching from Bath to Reading.

### 2.3 Designations

2.3.1 The whole of Pewsey including the site lies within the North Wessex Downs Area National Landscape (NWDNL).

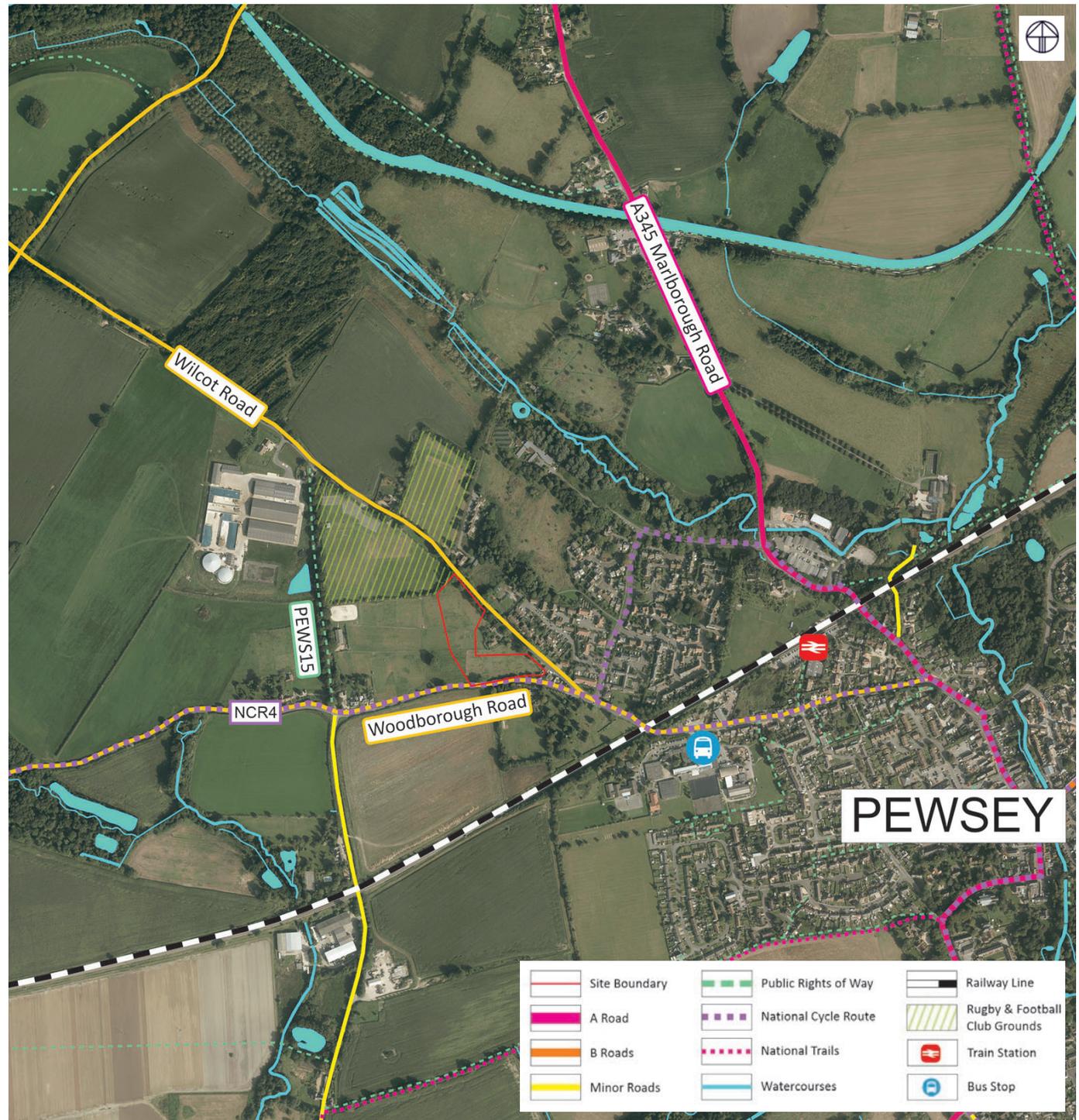


Figure 03 - Local Site Context and Access

2.3.2 With the exception of 2 Oak trees along the eastern hedgerow boundary which are subject to a Tree Preservation Order (TPO/2025/00001), there are no other local or national landscape, statutory ecological or heritage designations which constrain development of the site.

## 2.4 Ecology

2.4.1 The site has been the subject of Phase 1 appraisals and Phase 2 surveys since 2014. No significant impacts to receptors have been identified during these assessments.

2.4.2 Of the range of habitats found on site, semi-improved grassland was found to have the widest coverage and is heavily grazed by horses and rabbits. The southern boundary was considered to qualify as UK BAP Habitat. Ornamental trees and amenity grass and shrubs were found within the garden area of the retained dwelling. Of the habitats surveyed on site, just one - being the UK-BAP hedgerow habitat - was considered to have 'Regional' value. All others have local or lower value.

2.4.3 Ecology surveys have considered badgers, bats, great crested newts and dormouse, nesting birds and reptiles. The findings have informed the landscape strategy, which includes protection and enhancement of terrestrial, tree and hedgerow habitat along site boundaries. Further details of mitigation is provided in the Ecological Appraisal.

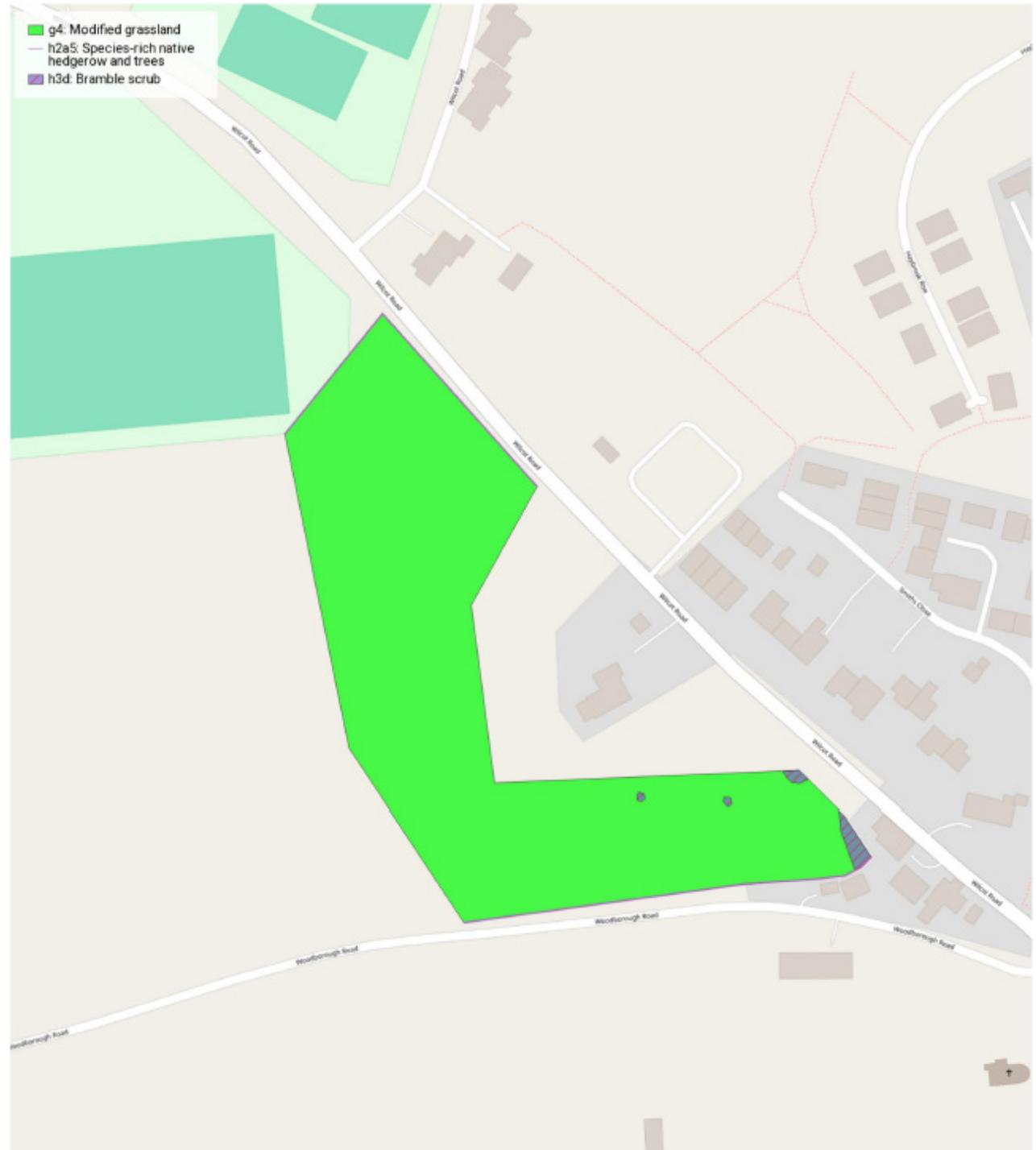


Figure 04 - UKHab Baseline Habitat Plan

## 2.5 Topography

2.5.1 Pewsey Vale is a broad valley separating the chalk downland blocks of Salisbury Plain to the south and Pewsey Downs to the north. The dramatic topography associated with the flanking chalk escarpments is found at some distance from Pewsey and the site, which both lie wholly within the broadly flat vale.

2.5.2 Locally, the topography underlying Pewsey features a variety of sloping landform, meaning that existing settlement is already at grade with the site, as well as on lower and higher ground.

2.5.3 Within the site, the gently sloping topography is a continuation of the landform that underlies settlement to the east, dropping from 127m AOD in the north-eastern portion to 126m in the south-west. This landform continues to drop away not only to the south-west but also to the south and south-east where other parts of the settlement are well established.



Figure 05 - Local Topography

## 2.6 Hydrology

2.6.1 There are no watercourses within the site. The nearest watercourses are Ford Brook, at approximately 327m to the northeast, and the River Avon located 1,010m to the south. Neither present a flood risk to the site, which is in Flood Zone 1, defined as land having a less than 1 in 1000 annual probability of flooding.

2.6.2 There are also no reservoirs or lakes in close proximity to the site and the site is at very low to no risk of surface water flooding. The proposed drainage strategy has been prepared to ensure that the developed site and the downstream catchment area are at no greater risk of flooding than the existing situation.

## 2.7 Agricultural Land Classification

2.7.1 Agricultural classification for the local land is Grade 1, although the site itself is not in agricultural use.

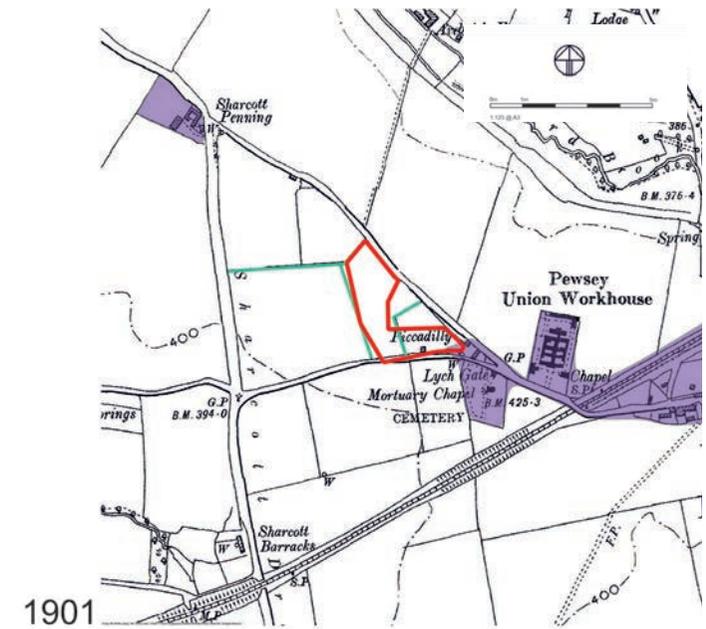
## 2.8 Historic Field Boundaries

2.8.1 Field boundaries have varied over time, particularly as the settlement expanded along Wilcot Road. There is evidence of north-south and east-west

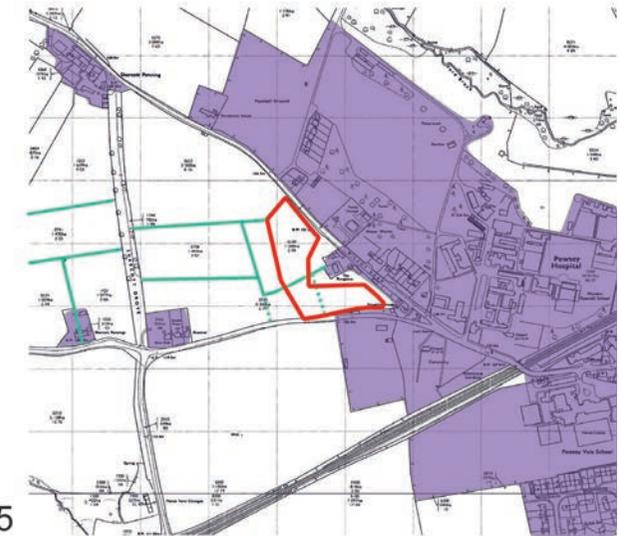
field boundaries within the area of the site. This historic change to field boundaries will inform the development's western boundary.

## 2.9 Settlement Morphology

2.9.1 Within and along the edge of Pewsey the majority of the development along approaches to the village (including Wilcot Road and Woodborough Lane) has resulted from 1930-1990's expansion.



1901



1975

Figure 06 - Historic mapping (1901 above and 1975) illustrates how site boundaries have changed and the settlement has expanded along Wilcot Road

## 2.10 Site Features

2.10.1 The site consists of part of a pastoral field sub-divided into equine paddocks for grazing and a detached residential property, retained within the site, which has existing access off Wilcot Road. Photographs of the three existing boundaries are included in the following pages, along with a description of their quality and condition. A BS5837 tree survey found that the highest value trees, being Category A and B, are primarily confined to the wider field boundaries.

2.10.2 Outside of the residential curtilage the use of the parcel for horsiculture has resulted in potential key landscape and biodiversity features being restricted to its perimeter. Horsiculture and its associated clutter are not considered to reflect the higher value of traditional rural/ pastoral landscapes.

2.10.3 Mature vegetation forms three of the site's boundaries, in addition to the mature trees further west along the PRoW track, all of which increase the separation of the site from the wider rural landscape, when compared against the more open managed agricultural landscape that surrounds Pewsey.

2.10.4 The character of Wilcot Road varies considerably along its route. In the stretch alongside the site and to its immediate north and south, a mixture of urbanising features influence its character, including street signage, overbearing conifer hedges, picket fencing, closeboard fencing, a parking layby, narrow verges with worn grass and engineered, kerbed accesses.

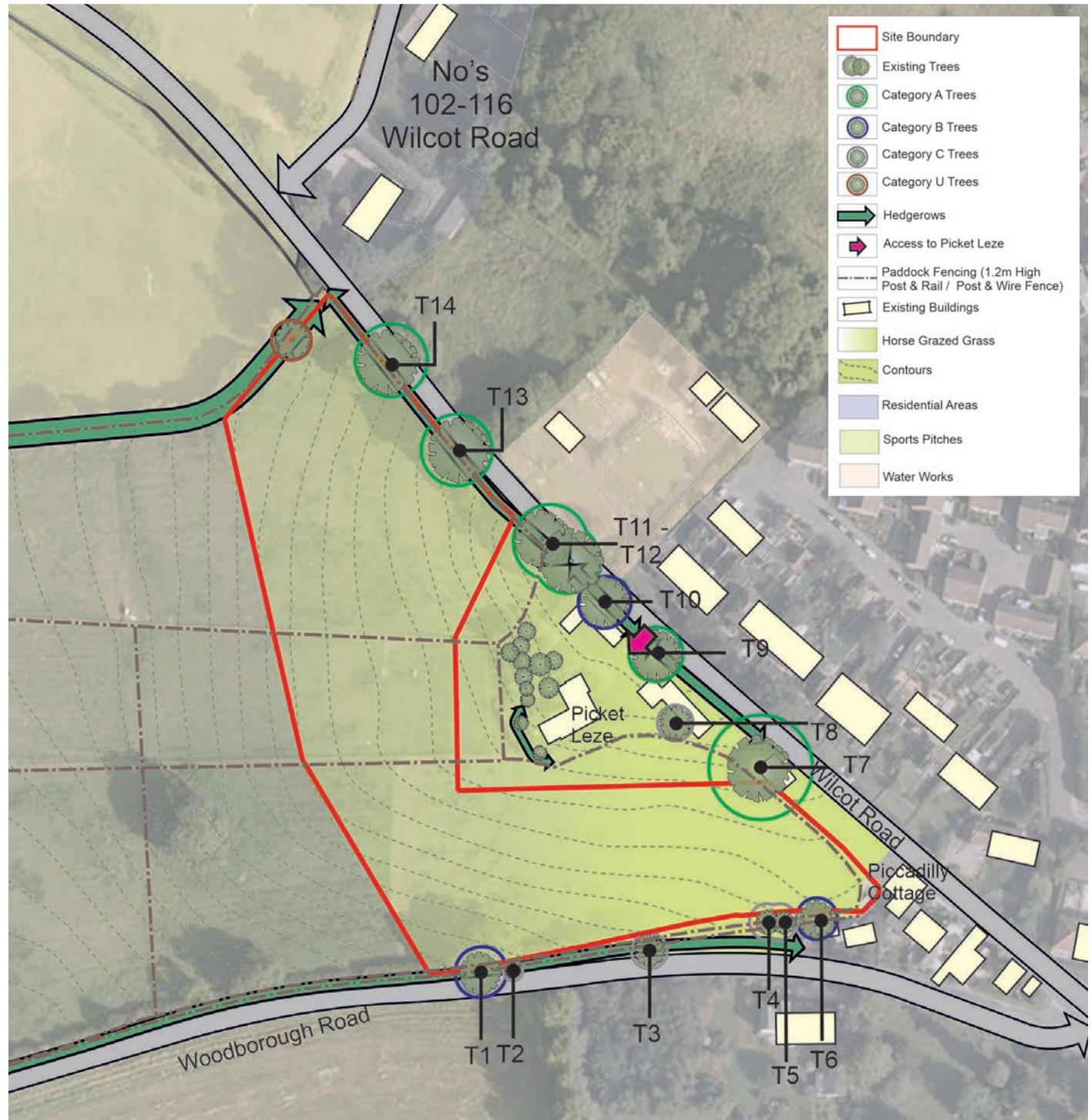


Figure 07 - Site Features and Tree Survey



**Site Photo 01:** Southeastern corner of the paddocks, illustrating scrub and pocked, heavily grazed grass, beyond which lies properties overlooking Wilcot Road. The southern boundary is defined by a 1.5-2.5m high, native hedgerow located on a low hedgebank (G100, category C2). This boundary forms an important aspect of the rural character of the lane as well as a key historical feature. The hedgerow is also important in screening views into the paddocks. The curtilages to residential properties are predominantly ornamental but are useful in providing a defensible boundary and privacy to the residents. Mature oak and ash trees (Category B) are scattered along this hedgerows.



**Site Photo 02:** View towards the paddock's eastern boundary, with domestic and non-native vegetation within Picket Leze and a gap in the vegetation revealing properties overlooking Wilcot Road and the water works. Part of the north eastern boundary with Wilcot Road is formed by a low hedgebank and contains several Category A and B mature oaks (T18-23) that provide key and significant landscape features along the lane. The hedgebank has been planted with a native hedgerow enhancing this feature and providing longevity. There is however a chainlink fence within the hedgerow that will prevent full growth of the hedge from being achieved.



**Site Photo 03:** View looking towards the north-eastern boundary from within the site. Horsiculture is defined as a key issue for the NWDNL. The northern boundary with the rugby field is defined by a mixed category B native hedgerow (G43-42 thorn, blackthorn, holly and elder with occasional ash). The overall quality of the hedgerow is considered low and the condition gappy but useful in providing a defensible boundary and habitat.

## 2.11 Landscape Character

2.11.1 The site is identified within the following character assessments and conservation strategies:

**Table 03 - Character Assessments**

Character Assessment	Level	Landscape Character Area/Type
National Character Area (NCA)	National	116 Berkshire and Marlborough Downs
North Wessex Downs Integrated Landscape Character Assessment (NWDNL LCA)	Regional	6A: Vale of Pewsey
Kennet Landscape Conservation Strategy	Local	Vale of Pewsey

2.11.2 For the scale of the development proposals, the most relevant character assessment is the NWDNL LCA. The representative characteristics of the Vale of Pewsey have been considered in the LVIA along with their contribution to the character of the vale. The following provides a summary of these findings.

2.11.3 The topography of the vale provides the setting for Pewsey and the site, where the broad vale appears relatively flat, contrasting with the more distant dramatic chalk flanks.

2.11.4 Locally, land cover comprising hedgerow boundaries and smaller blocks of woodland and shelterbelts give the impression of a more enclosed, well treed landscape which encloses settlements and scattered dwellings.

2.11.5 Pasture and arable agricultural land make a positive contribution to the character of the NWDNL vale landscapes. However, the site and its immediate setting to the west, north and east is defined by non-agricultural land which does not make this positive contribution.

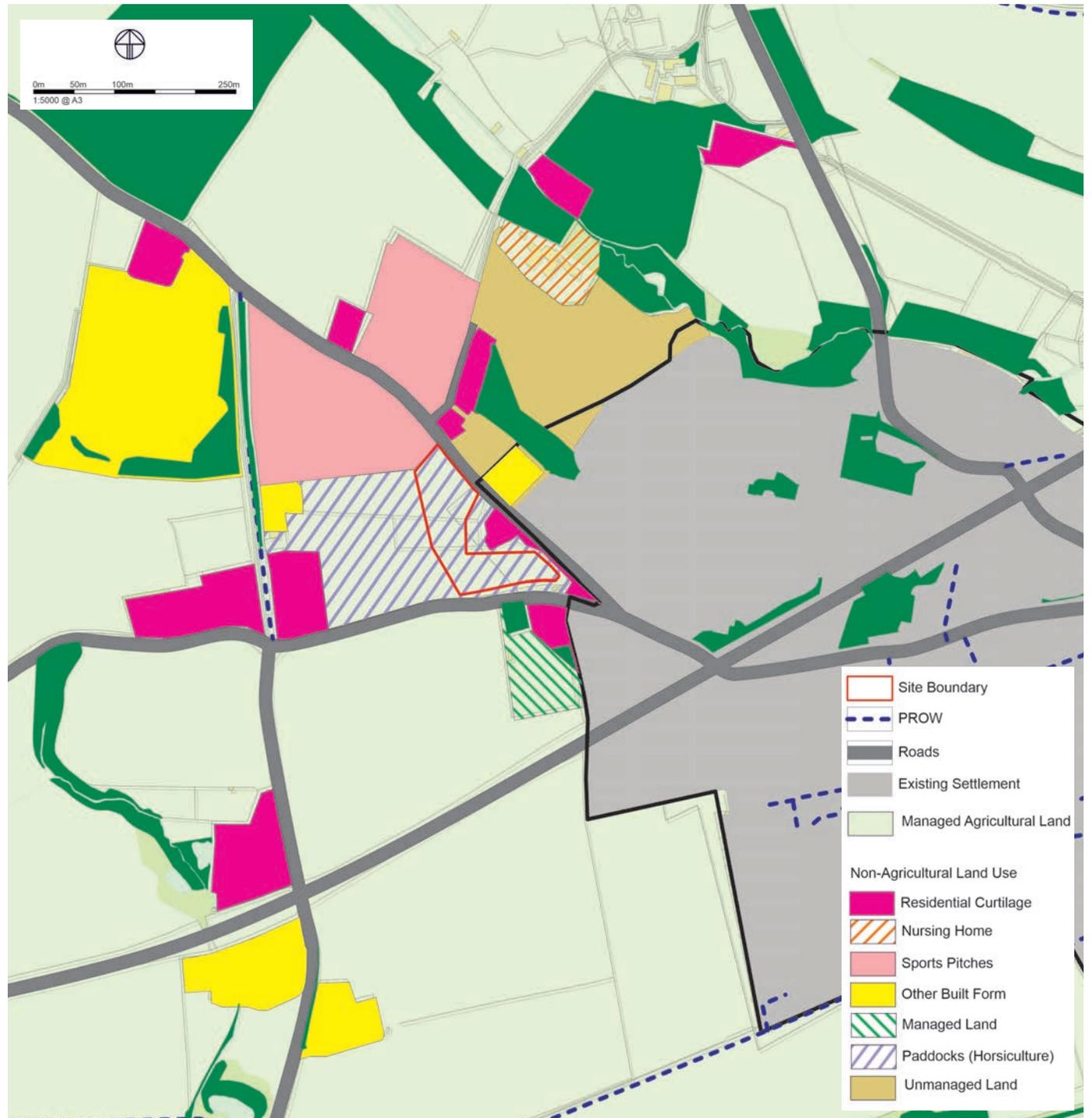


Figure 08 - Land Use

2.11.6 In the wider agricultural landscape of the vale, trees and hedgerows form field boundaries to arable fields. For the site, the hedgerow pattern has a weaker relationship with the largely arable land beyond. The prominent hedgerows and trees which form the arable field boundaries form a legible, defensible boundary between the non-agricultural land along the settlement edge and wider agricultural landscapes.

2.11.7 The overall findings are that the site makes a limited contribution to the key characteristics of the NWDNL, within the Vale of Pewsey, as it is not representative of the prevailing mixed agricultural landscape.

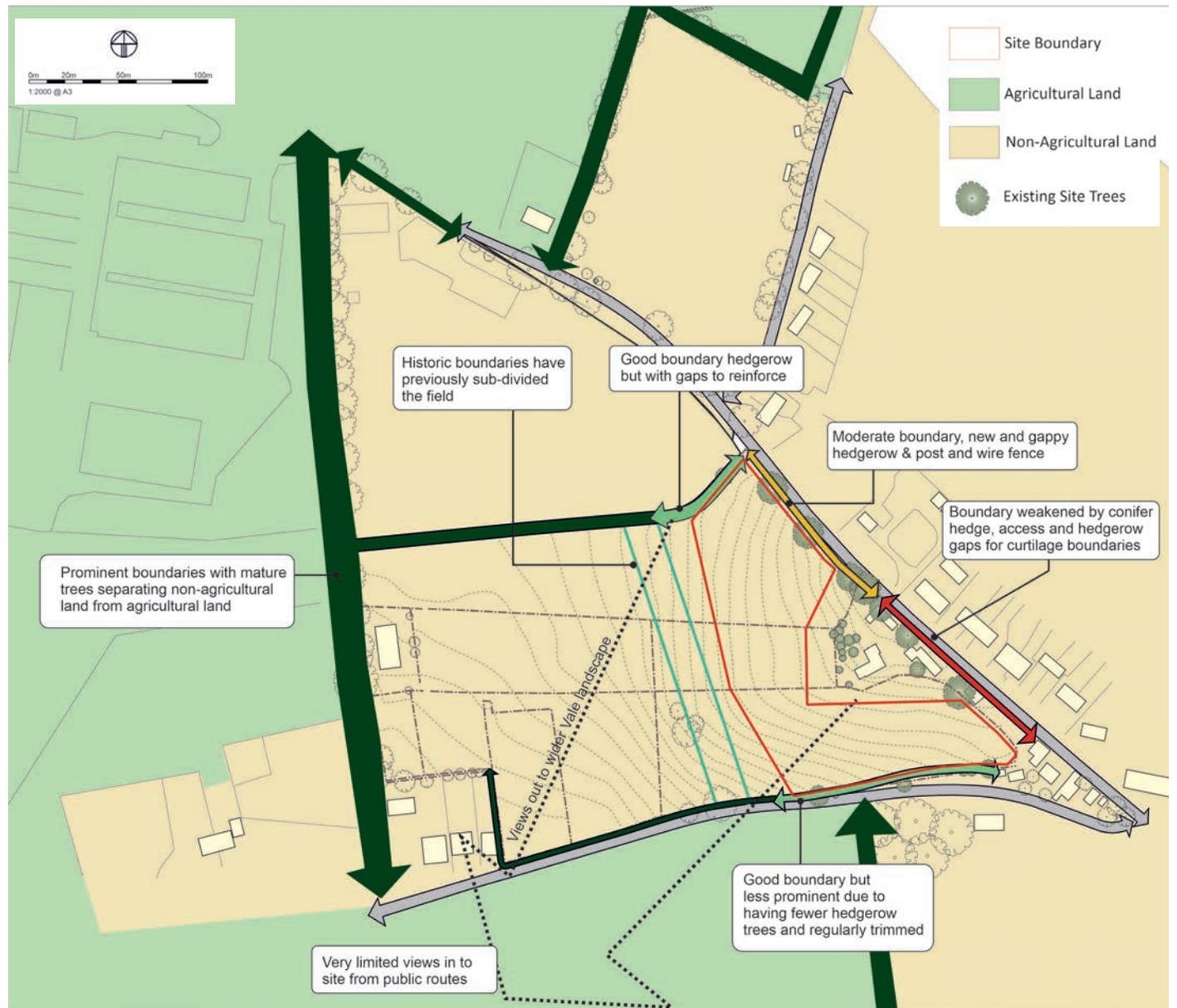


Figure 09 - Landscape Analysis

## 2.12 Settlement Character

2.12.1 Pewsey comprises a range of house types and character areas, with local modern vernacular generally being a traditional form, two storeys in height and constructed of brick and slate, some with render or exposed brick. Older period cottages are typically thatch or tile, with timber doors and window frames, and constructed from brick and stone, some also with render. Pewsey has two Conservation Areas, reflecting the time depth for settlement in the area and providing precedence for local vernacular.

2.12.2 The Pewsey Village Design Statement (2002) has identified a pattern for higher housing densities nearer the village centre, this being primarily due to a higher concentration of terraced housing. Recent development with larger buildings, detached dwellings and a variety of roof pitches reflect design trends of the time.

2.12.3 A recurring reference within the design statement is to the organic growth of the village, which “has always been a part of Pewsey’s history, as the village has adapted to new developments and opportunities.” This organic growth has introduced a variety of different interpretations of local vernacular, layout and densities.

2.12.4 In order to control the design of new development, the adopted village design statement cites specific examples of good design, such as in the Heron estate to the north of the High Street:

- Well laid out, as a series of closes and cul de sac off a winding main thoroughfare, avoiding a grid-like layout and preventing the problem of too much through traffic (see Figure 11 and photos);
- Road surfaces are varied with tarmac and block paving to reinforce the ‘close’ element of the design
- Varied roof heights, with bungalows at the bottom of the hill, ensuring a smooth transition to the double-storey houses further up the hill;
- Facades are seen again the backdrop of the mature tree behind them;
- Play areas are in the middle of the estate where they are open to any child;
- Individual closes are named after native trees and the landscaping includes relevant specimens;
- Variety of house design with features that both distinguish individual houses from their neighbour;

- Features of house design recur as common themes e.g. same coloured render in different positions on their facades or same house design in different shades of brick and tile;
- Some materials are red brick, but most are muted tones and pale washes to blend sympathetically with the tones of the countryside;
- Brick patterns add relief to large wall areas or make windows more attractive;
- Affordable housing blends within and is integrated into the overall design.

2.12.5 The footpath and bridleway network connecting the village to the countryside is described in the statement as “an important element of the rural atmosphere Pewsey wishes to preserve.”



Figure 10 - Sketch analysis of characteristics of Heron estate: closes and cul-de-sacs off a winding main thoroughfare, enclosed by clusters of dwellings, different road surfaces (01); bungalows at the bottom of the hill (02); backdrop of mature trees (03); easily accessible public open space (04);



Photo 04 - Cul-de-sacs and closes with block paving and contrasting threshold strips; varied roof heights on lower ground



Photo 05 - Properties seen against backdrop of mature trees



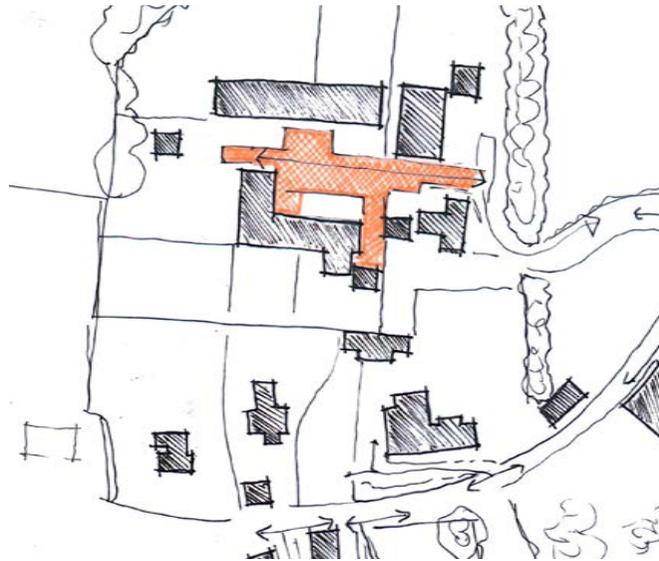
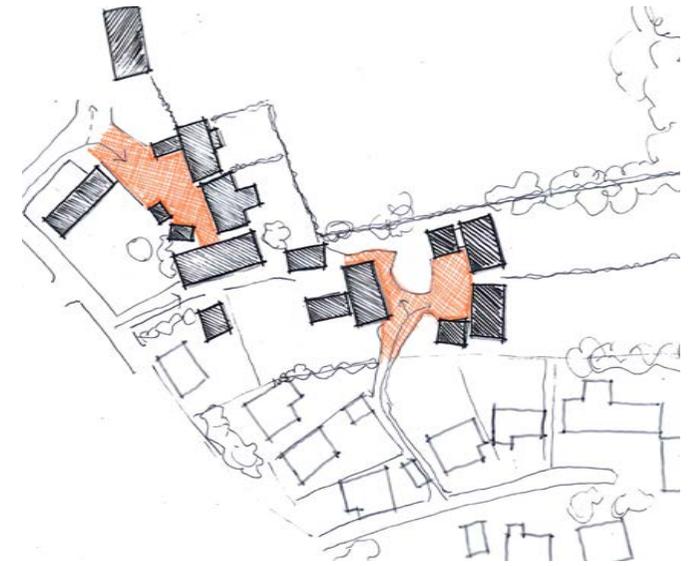
Photo 06 - Properties overlooking open space and equipped play areas

Photo 07 - 09 - Different house design, some detached with some terraces; roof tiles, brick patterns and colours of muted tones; some render

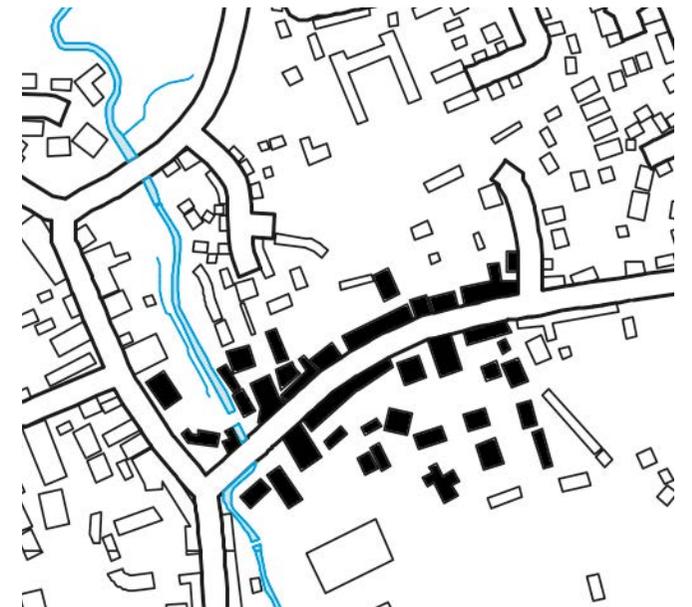


## 2.13 Local Character Analysis

- 2.13.1 Whilst it is useful to note the design characteristics of the Heron estate, additional analysis has been carried to understand how other developments incorporate local distinguishing design features.
- 2.13.2 The areas examined are the development off Broomcroft Road and development branching off it which spans a large area from the High Street in the centre of the village to the railway to the north; development off Milton Road on the approach into Pewsey from the east which represents a small, semi-private farmstead redevelopment; and, conversion of an old dairy farm in Wilcot village to the north-west of Pewsey in a comparatively more rural setting.
- 2.13.3 The analysis has found recurring themes of muted earth colour tones, brick inlays and detailing, sparing use of pale renders, cul-de-sacs and closes arranged around courtyards with contrasting surface materials, to main access route. Maturing trees form the legible settlement edge.
- 2.13.4 Boundaries are typically low stone, brick or a mix of stone wall with hedge. Dark-stained weatherboarding forms a strong focal point at the Old Dairy.
- 2.13.5 Housing density varies within the village with highest densities found in the village centre where long terraces predominate and parking is either on street, unallocated or occasionally to the rear. Densities in the remainder of the more recent post war expansions are generally medium with occasional pockets of lower density as illustrated opposite and the bungalow development around Astley Close.



**Figure 11** - Typical closes and cul-de-sacs around which to cluster smaller parcels of development:  
Development off Broomcroft Road - top;  
Milton Road - top-right has a legible farmstead-style layout of buildings  
Wilcot Old Dairy - left, also reflects the former dairy farm layout, also around a legible parking courtyard.



**Figure 12**- High Street - representing the highest density in the village



Figure 13, 14 (above and below) - Development off Broomcroft Road: public open space is easily accessible and overlooked

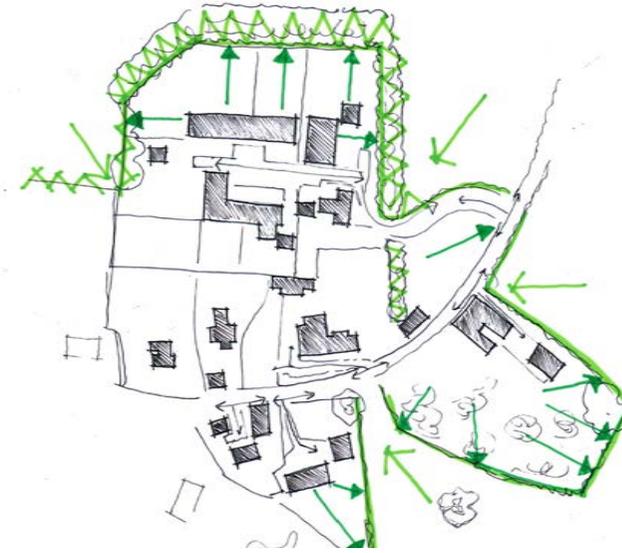


Figure 15, 16 (above and below): Redevelopment of Old Dairy, Wilcot with new planting along edge to form legible, naturalistic edge and views into the settlement between clusters of development





Figure 17 (above) - Dark stained weatherboarding and low brick wall at Old Dairy, Wilcot;

Figure 18 (below) - Pub with flint and brick inlay in Wilcot

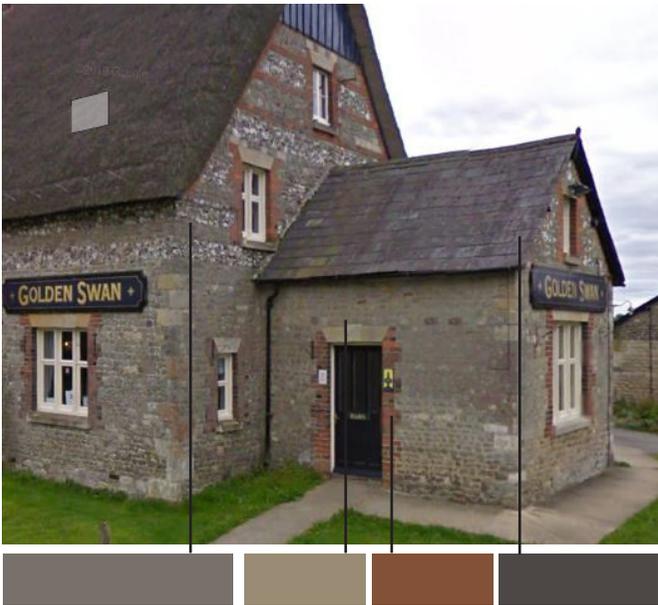


Figure 19 (below) - Old Dairy - reversal of brick colours in adjacent dwellings



Figure 20 (above) - Buildings with ashlar stone detailing in Middlemass Green

## 2.14 Findings of Settlement Analysis

2.14.1 The site's location is settlement edge to a semi-rural landscape, with a sloping south-west aspect, the majority of mature trees along the eastern and southern boundary, some existing dwellings overlooking the site and a mixed sub-urban character along Wilcot Road with some overlooking development.

2.14.2 Therefore a number of design considerations resulting from this settlement analysis can positively influence the design:

- Smaller clusters of development, each with a variation in layout and appearance.
- Recurring themes to avoid confusion.
- Courtyard and cul-de-sac parking overlooked by dwellings.
- Block paving in courtyards with contrasting threshold strip.
- Central, accessible public open space and equipped play.
- Avoid uniformity of built edge.
- Multi-functional public open space, incorporating suds, play, informal recreation space.
- Footpath/cycling network to include connections through parking courtyards.
- Dwellings orientated to benefit from south-facing solar gain where possible.
- Strong, legible, defensible, well-treed boundary to the wider countryside.
- Use of muted, earth tones is prevalent in buildings and walled boundaries.

2.14.3 In combination with these findings, the Pewsey village design statement provides the following relevant recommendations for new development:

- Future developments should continue the tradition of adapting change but should be of a scale and design that is compatible with a predominantly rural settlement.
- New buildings should contribute to the diversity and individuality of the village, whilst reflecting local character and distinctiveness.
- Design details should be used appropriately.

- House design should be user friendly, to facilitate life-long occupation and home-working.
- House design should minimise the impact of new buildings on the environment.
- There should be a strong tree planting and protection policy, with an emphasis on native species and on-post developer maintenance.
- The design of the whole of any new development should be internally consistent and harmonious, and give the impression of organic growth.
- The design of social housing should harmonise with rest of development.
- Building style and density should reflect the function and respect the form and character of the neighbourhood.
- Further vehicular intrusion should be kept to a minimum, to minimise pressure on car parking in an area where many houses do not have off-road parking.
- Any new development should add proportionally to recreational and green areas.
- Where appropriate, developers should install traffic calming measures as a planning obligation.
- Any new development needs to be linked with footpaths with similar or better facilities.

## 2.15 Local Facilities and Services

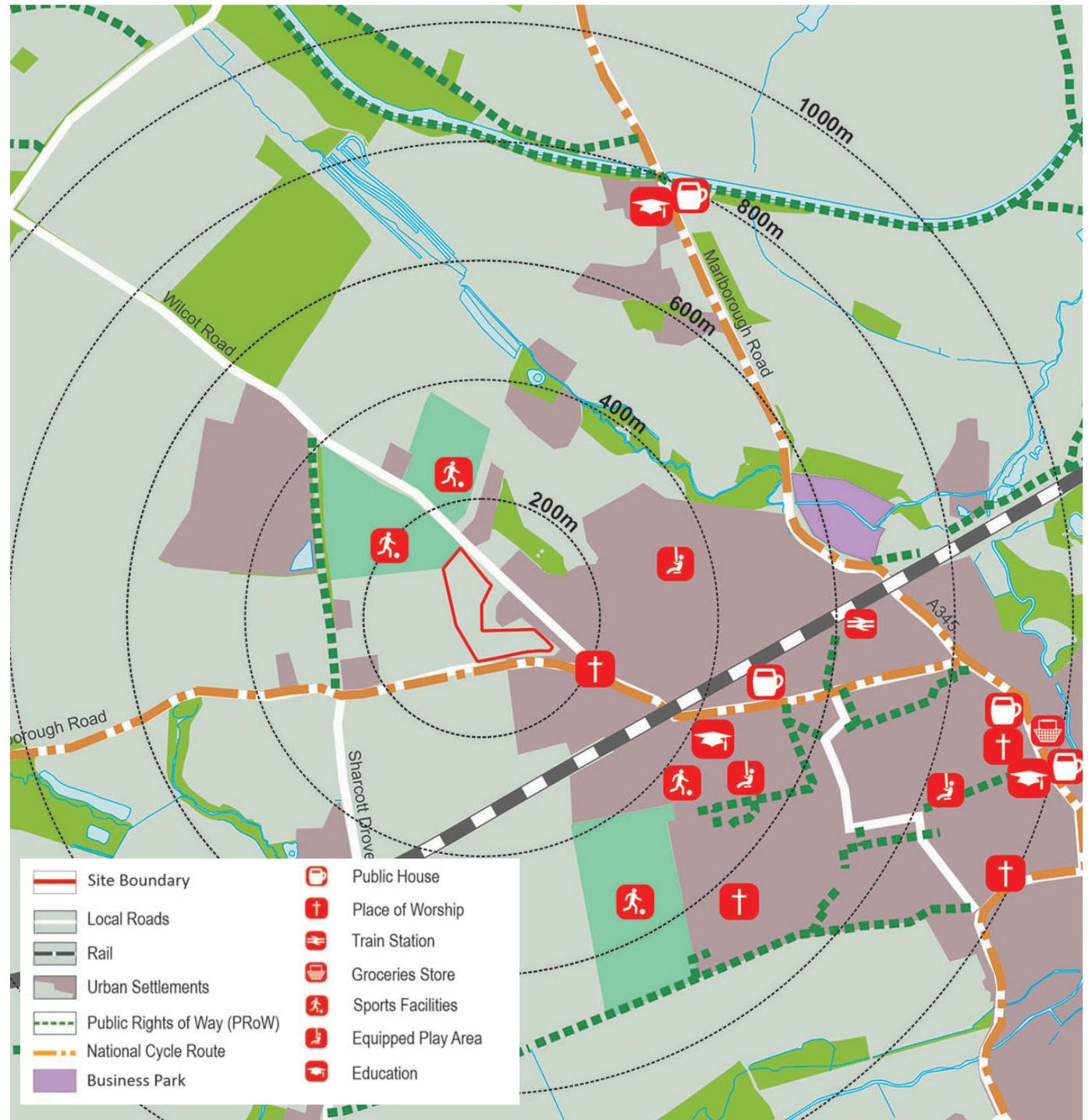
2.15.1 Pewsey is a sustainable settlement with a number of local facilities and services, including a leisure centre and railway station with mainline links to London as well as bus services to the neighbouring towns and villages. The village also enjoys a local community network with shops, pubs, post office and schools.

2.15.2 The majority of services are within easy walking distance from the site as indicated below.

**Table 04 - Existing Services - Distances**

Amenities/Facilities	Distance
1 Pewsey Vale Youth FC / Pewsey Vale RFC	100m / 250m
2 Public House	480m
3 Pewsey Railway Station	800m
4 Village Hall	965m
5 Village Stores and Post Office	1.1km

2.15.3 Further facilities such as supermarkets and shops can be found in Devizes and Marlborough.



**Figure 21 - Local Facilities and Services**

## 2.16 Visual Amenity

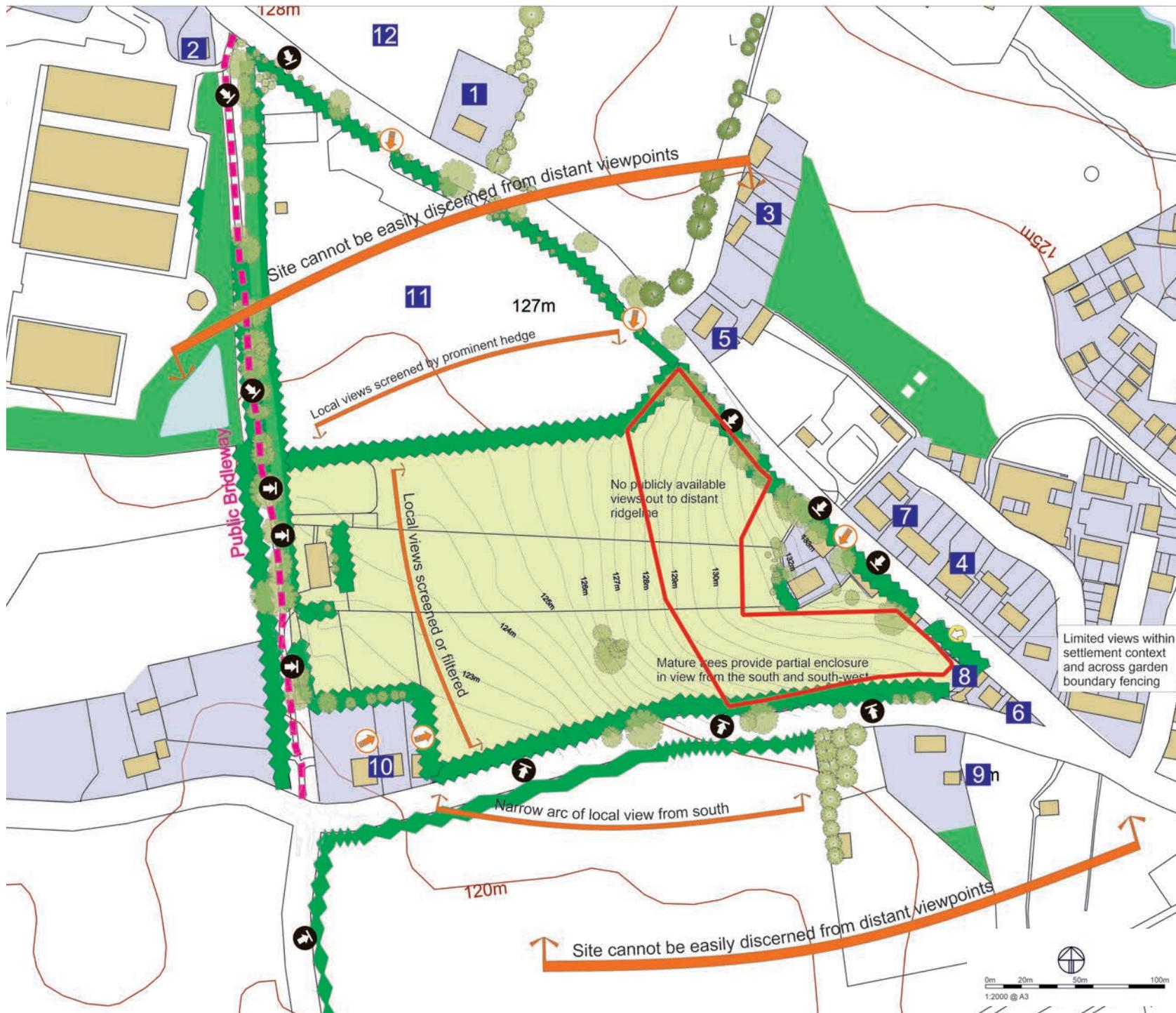
- 2.16.1 The visual analysis found that in views from the distant dramatic chalk flanks to the north and south of the vale, the site could not be easily discerned amongst the intervening prominent wooded treebelts that surround the settlement edge.
- 2.16.2 Locally, the mature trees and hedgerows along roads and PRoW has a similar effect by screening or heavily filtering views towards the site. From nearest PRoW, at PEWS15 to the west, views of the site are screened or filtered by the livery yard stables, vegetation, fencing and low embankment and adjacent dwellings.
- 2.16.3 Open or filtered views may be experienced from dwellings overlooking the site, and from alongside the site on Wilcot Road and above the hedgerow on Woodborough Road alongside the site. Glimpsed views might be experienced from the south-west when passing along short sections of Sharcott Drove, local footpaths and a short section of the railway further south. However, intervening vegetation including mature trees along the settlement edge will close down the views as people pass through.
- 2.16.4 The findings in the submitted LVIA conclude that the site forms a very limited part of public views, as it is mostly enclosed by mature trees, privately used land or existing settlement.



Figure 22 - Representative view from Woodborough Road, to the west of the site



Figure 23 - Sharcott Drove to the south-west with glimpsed views towards the site



-  Existing residential
-  Existing hedgerows
-  Views screened by topography, built form or vegetation
-  Filtered or upper storey views
-  Open Views
-  Public bridleway

- 1** Pemberton House
- 2** Sharcot Penning House
- 3** 106-116 Wilcot Road (Even only)
- 4** White Horse Care Trust
- 5** 102 Wilcot Road
- 6** Dwellings at junction/ Wilcot woodborough Road
- 7** 84-100 Wilcot Road (Even only)
- 8** 103 Wilcot Road & Piccadilly
- 9** Edmunds Ground
- 10** One Oak, South View & Braemar
- 11** Pewsey Vale RFC
- 12** Football Field

**Summary of nearby private views:**

- Pemberton House - restricted, oblique views towards paddocks with rugby pitches and mature trees in the foreground
- Sharcott Penning House - no notable views of paddocks given intervening vegetation
- No. 102 Wilcot Road - potential upper storey views of paddocks, heavily filtered by intervening trees
- Dwellings east on Wilcot Road - views of existing paddocks filtered in places by intervening trees
- Nos 84 - 100 Wilcot Road - Restricted open views of paddocks between intervening buildings and trees
- No 103 Wilcot Road and Piccadilly Cottage - Restricted open views of paddocks between intervening buildings and trees
- Nos 84 - 100 Wilcot Road - Restricted open views of paddocks between intervening buildings and trees
- One Oak, South View and Braemar - Restricted, oblique, heavily filtered views of paddocks beyond tall boundary hedgerow

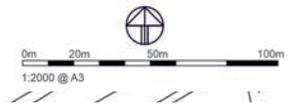


Figure 24 - Visual Analysis  
PAGE 23

## 3.0 CONSIDERATIONS AND OPPORTUNITIES



### 3 CONSIDERATIONS AND OPPORTUNITIES

#### 3.1 Considerations

##### Character & Physical Constraints

- Avoid potential impacts upon the character and key features of the NWDNL designation.
- Retain existing high value native trees and hedgerows, and avoid impacts on root protection areas (RPA).
- Ensure appropriate easement to mains water pipe from water works.
- Create strong, legible and defensible western settlement edge boundary with native trees and hedgerow. Consider restoring former historic hedgerow boundaries and avoid negative impacts upon the setting and approach to the village.
- Provide an integrated drainage and SUDS strategy, increasing biodiversity opportunities

##### Access

- Retain existing residential access to Picket Leze.
- Create new adopted vehicle access from Wilcot Road that minimises impact on tree RPA's and provides appropriate visibility splays.
- Provide safe pedestrian footway along Wilcot Road that enhances connections between local facilities.
- Provide a pedestrian/cycle link onto Woodborough Road through the site. .

##### Visual Amenity

- Retain and enhance existing vegetated boundaries for screening and enclosure.
- Provide additional screening to views through the creation of a new native western boundary.
- Ensure retained visual amenity of local residents and users of PROW PEWS15 (bridleway);
- Consider transition between the site and wider landscape to the west - maintain opportunities for views out towards the ridgelines to the north and south.

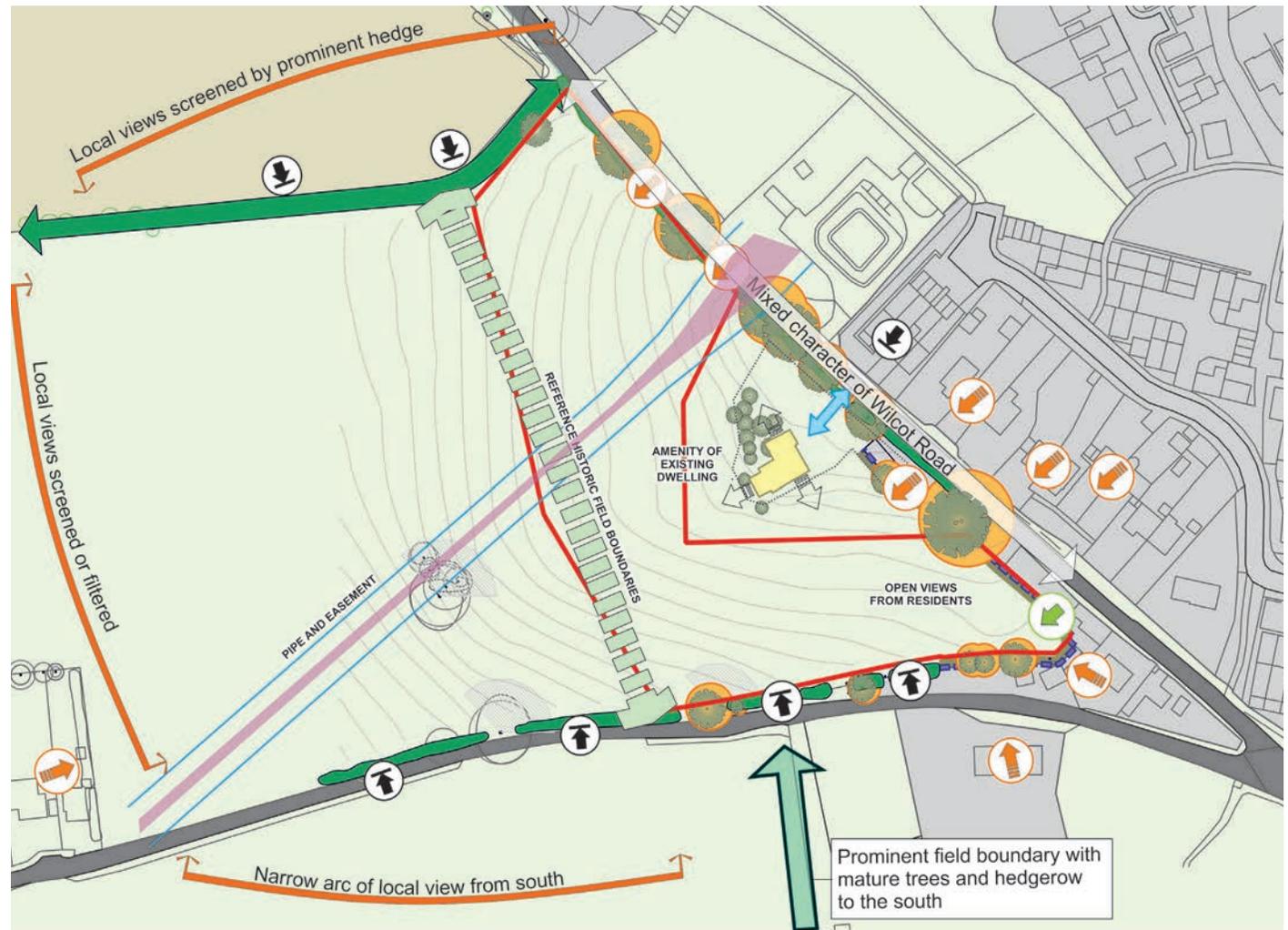


Figure 25 - Site Considerations



## 3.2 Key Opportunities

3.2.1 The over-arching concept is to create a place that is recognisably appropriate to the rural edge of Pewsey with a multi-functional green-blue infrastructure strategy, using the following principles:

- Provide a mix of housing types with locally distinctive architectural detailing, with predominantly brick and stone with local earth tones and muted colours; use pale renders sparingly
- Create a strong, natural, defensible boundary to the settlement with a minimum 10m planted tree buffer to the open space on the western edge
- Provide pedestrian links through the site linking the open space with sports pitches further north along Wilcot Road and to the quiet lane on Woodborough Road;
- Create an attractive arrival access, with focal buildings and new long distance views out to the wider vale
- Enhance biodiversity opportunities through establishment of additional natural and semi-natural habitat within larger areas of open space
- Increase wildlife corridor connectivity to boundary and off-site features through reinforcement of existing hedgerows and further tree planting
- Improve health and well-being of the local community with multi-functional, accessible open space and circular routes for inclusive access.
- Create a new pedestrian/cycle link into Woodborough Road in the south.

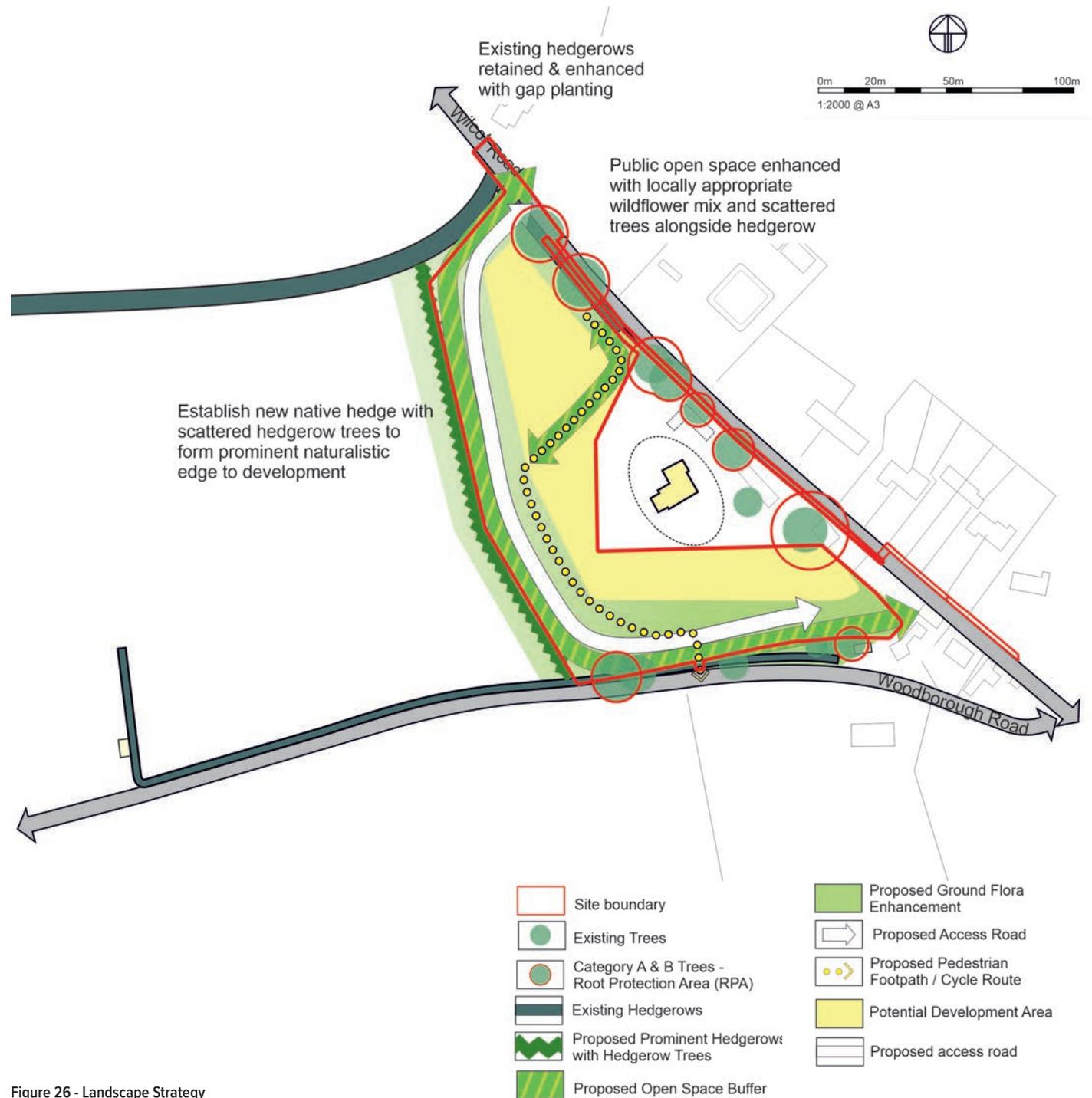
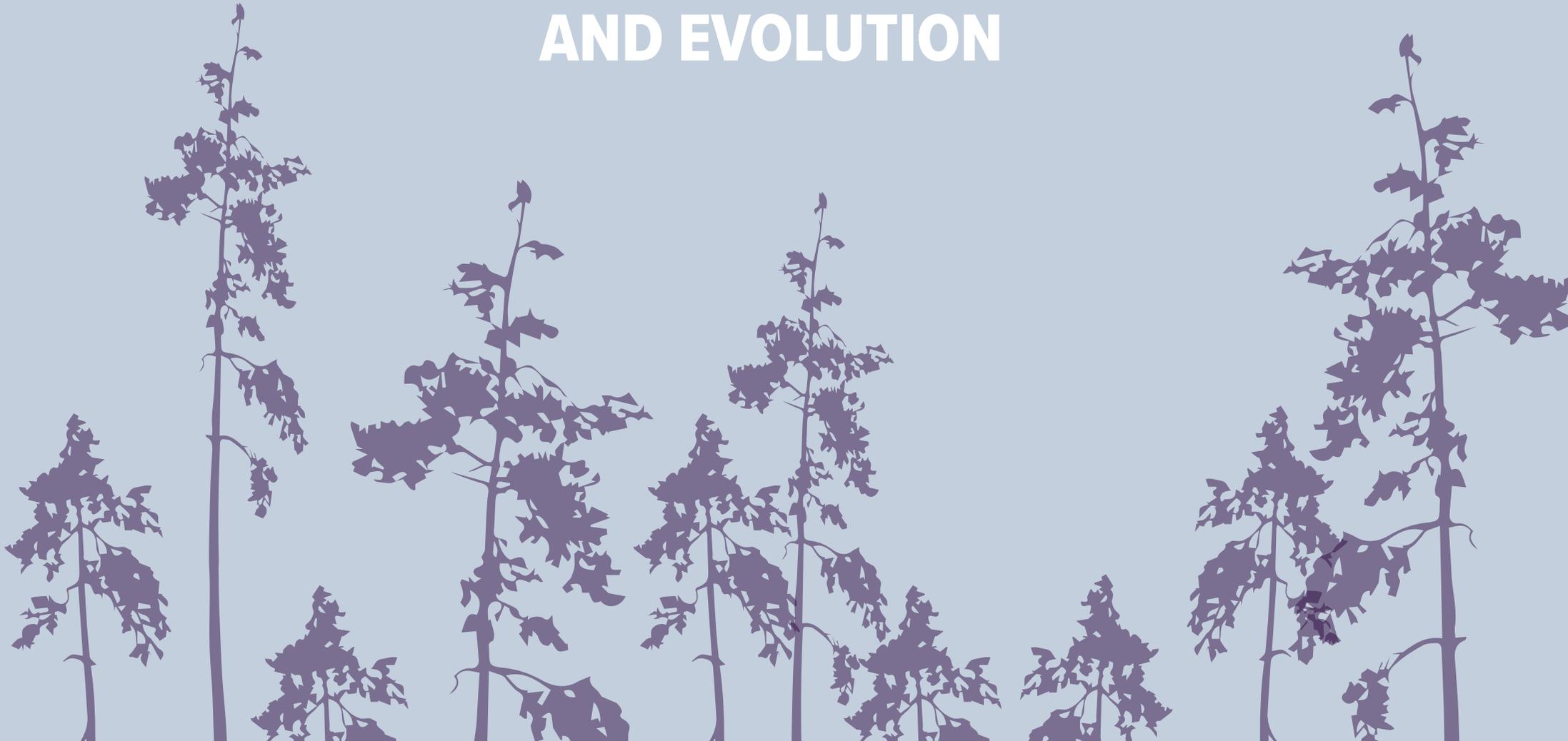


Figure 26 - Landscape Strategy

# 4.0 DESIGN CONCEPT AND EVOLUTION



## 4 DESIGN CONCEPT & EVOLUTION

### 4.1 Design Evolution

4.1.1 The design strategy has evolved since the dismissed appeal to reduce the amount of development to create a more natural extension to the village.

4.1.2 The courtyard cluster of houses to the north have a farm courtyard character with houses addressing Wilcot Road, as well as the open space. The remaining houses to the south are more linear in nature, accessed off a variable width block paved road to create a distinctive rural character.

4.1.3 The proposed development layout has positively responded to comments received on a previous 30 unit layout. The design has evolved in response to further analysis, including:

- Main access route through the layout to reflect “winding main thoroughfare” as identified in the Pewsey Village Design Statement; and
- Reinforcement of western boundary with new hedge and trees to ensure the houses are seen with a backdrop of mature trees and hedgerow behind them in local views.



Figure 27 - Illustrative Masterplan - previous 50 unit scheme for the site



Figure 28 - Illustrative Masterplan - previous 30 unit scheme (original proposal)



Figure 29 - Proposed new layout

## 4.2 Design Objectives

4.2.1 The identification of the constraints, considerations and opportunities has informed the development layout for further consultation and technical inputs.

4.2.2 To achieve the proposals for a locally distinctive and appropriate small-scale development, the key design objectives are:

- Create a layout that responds to the positive observations made through analysis of the local rural settlements;
- Create legible route within the layout, with use of trees, views and open space to provide focal points for legibility;
- Provide easily accessible and legible cycle and pedestrian routes through the development to off-site features, to reduce reliance on vehicles;
- Create safe and over-looked public realm spaces:
- Create a recessive built edge and varying widths of open space to avoid a build-up of massing and solid walls of development:
- Create a layout that has strong physical and visual relations with the key natural characteristics of the Vale of Pewsey landscape;
- Ensure that appropriate levels of parking will be provided to prevent parking in areas that are unsuitable; and
- Ensure convenient and safe pedestrian access to Wilcot Road and Woodborough Road, and local facilities.



Figure 30 - Illustrative Masterplan

### 4.3 Tenure Mix

4.3.1 The development will provide a mix of housing types to create a broad social spectrum of society through inclusive design. The layout affords the flexibility to provide a range of homes that can be adjusted to reflect WCC's current policy for affordable housing (split 60/40 between rented and market) located within the development.

4.3.2 The affordable allocation of 40% will give 11 dwellings, all with dedicated rear gardens and parking, with the overall mix serving the needs of first-time buyers, small families and those looking to downsize.

### 4.4 Design Considerations

#### Building Heights

4.4.1 Building heights will be predominantly 2 storeys to reflect the prevailing scale of residential development adjacent to the site. Some 1 and 1/2 storey will be used where appropriate to reflect the immediate context.

#### Scale and Massing

4.4.2 The scale and massing of the proposals will be designed to reflect the pattern and character of the housing along Wilcot Road and Woodborough Road with a strong western edge to providing a suitable transition between the current urban edge and the proposed rural boundary further west.

#### Materials and Architectural Details

4.4.3 Specific house designs and detailing having not been finalised at this outline stage. However, having regard to the analysis of existing buildings in this statement and referring to the NWDNL's guidance on colour selection for building materials, the final designs will reflect local architectural detailing, brick and render mix, where it is appropriate and exhibiting cottage vernacular. Locally sourced stone and bricks will be used where possible to reflect the muted, earthy tones.

4.4.4 Repetitions of recurring local themes underpin the distinctive characteristic of the nearest villages and older village edge and will be maintained. The scheme will feature barn-style orientation of buildings, tiled roofs, sloping eaves and an overall general creation of a rural village edge character.



Figure 31 - Housing Tenure Mix

- 4.4.5 The intention is to give the impression of more organic growth, with no distinction between affordable and market housing.
- 4.4.6 Low brick walls, some with railings, or timber post and beam fencing to the frontages of dwellings.
- 4.4.7 In places, shrubs to provide legibility and focal points to enhance the street scene. Shared surface areas will be defined by brick inlays and form the majority of vehicular areas within the scheme.

#### Crime Prevention

- 4.4.8 With respect to crime prevention, the design has been considered to incorporate the principles outlined within the NPPF with further reference to 'New Homes 2010 - Secured by Design' and the 'Safer Places - The Planning System and Crime Prevention'. These have been summarised under the following headings which were identified as important in reducing crime and anti social behaviour within sustainable communities.

#### Structure and Security

- 4.4.9 The layout has been considered to minimise conflicts between users. The new access road responds to the locally characteristic legible route;
- 4.4.10 Small development clusters will be created which enclose rear gardens with front elevations facing the close, or public open space.

#### Surveillance

- 4.4.11 All public spaces will have natural surveillance, whether from overlooking by housing or regularly used main access route. The access route has been designed to provide appropriately lit, direct access with open visibility. Landscaping and development will be considered to minimise hiding places adjacent to the non-vehicular routes.

#### Physical Protection

- 4.4.12 Dwelling boundaries will be considered to provide privacy and security where appropriate, with 1.8m high sub divisional rear boundaries between neighbours and/or hedgerows.
- 4.4.13 Where boundaries are to be created against the open space including public footpaths, these will be provided by native species which will

include hawthorn as a natural deterrent.

- 4.4.14 Housing will be orientated to provide natural surveillance with blank gable ends onto public open spaces avoided.

#### Sustainable Transport: Cycling

- 4.4.15 The scheme features a new cycle and footpath link to Woodborough Road and the national cycle network. In addition, the proposed development encourages sustainable transport and will prioritise the use of bicycles and provide pedestrian access closest to the village.

#### Access

- 4.4.16 Vehicular access to the site is proposed to be taken from a new priority junction off Wilcot Road, with separate pedestrian and cycle access located to the north, as well as onto Woodborough Road.
- 4.4.17 The submitted Transport Statement prepared by Highgate Transportation confirms that safe vehicular and pedestrian access can be achieved to and from the site in these locations.
- 4.4.18 Future residents will have nearby, safe, convenient pedestrian access to key services such as a school, bus stops and a railway station, and other facilities contained within the village, including a convenience store, sports centre, playing fields and public house.
- 4.4.19 Pewsey railway station is located approximately 550m east of the site, and is accessible by foot. Bus stops are located on Marlborough Road, around a ten minute walk from the development site.

#### Parking

- 4.4.20 Sufficient resident and visitor parking will be incorporated within the development with parking located conveniently within the vicinity of the dwellings.
- 4.4.21 The amount of car and cycle parking is to be provided in accordance with the standards set out Wiltshire's Car Parking Strategy. These minimum car parking standards require at least 1 space for a 1-bedroom unit, 2 spaces for 2 to 3 bedrooms and 3 spaces for a 4 or more-bedroom property.
- 4.4.22 Cycle parking of 1 space is required for a 1-bedroom dwelling and 2 spaces for a 2, 3 or 4-bedroom dwelling. Secure cycle parking will be provided within each dwelling, to provide an alternative to the private car.

#### Waste and Refuse

- 4.4.23 Each dwelling will be provided with the required residual waste storage bin capacity either in the form of communal facilities (i.e. for flats) or wheelie bins. An equivalent provision will be provided for recyclable materials. Further detailed information will be compliant with current standards and local policy.
- 4.4.24 Dedicated refuse and recyclable storage will be provided in each rear garden consisting of a hard-standing space.
- 4.4.25 The location of bins on collection days will be within the front of the curtilage, avoiding the footways;
- 4.4.26 Dedicated bin stands will be required for the courtyards closes where collection vehicles do not enter.
- 4.4.27 Residents should not be required to carry waste more than the maximum recommended distance to the storage point.
- 4.4.28 Waste collection vehicles should be able to get within 30m of the storage point.
- 4.4.29 The collection point will be accessible for vehicles used by the waste collection authority

#### Drainage

- 4.4.30 The integration of Sustainable Urban Drainage Systems (SUDS) as part of the landscaping strategy to form part of the future submission of the Reserved Matters will enable the surface water on the site to be controlled in a sustainable manner.

#### Private Gardens

- 4.4.31 Private gardens are, where possible, as generous as possible particularly for family houses, to provide a usable and pleasant accessible outdoor area. Equally, smaller gardens are available for those who prefer a more intimate outdoor space.



## Public Open Space

4.4.32 Wiltshire Open Space Standards Table 39 below indicates that Recreation Space would be required.

*Table 39 Requirement for open space*

Type of Provision	1-19 dwellings	20-49 dwellings	50+ dwellings
Allotments (Urban and rural)	X	X	✓
Amenity Green Space (Urban)	X	✓	✓
Parks Sports and Recreation Grounds (Urban)	X	X	✓
Play Space (Children) (Urban and Rural)	X	X	✓
Play Space (Youth) (Urban and Rural)	X	X	✓
Accessible natural green space	X	X	✓
Recreation Space (Rural)	X	✓	✓

KEY: ✓ on-site provision normally sought  
X off-site provision/improvements to existing open space normally required

4.4.33 Provision of casual play space is given as Amenity Open Space in the development proposals, as shown on the open space plan overleaf.

4.4.34 Policy CP52 of the Core Strategy states that developers will be required to make provision for accessible open spaces in accordance with the requirements of the adopted Wiltshire Open Space Standards. The Wiltshire Open Space Assessment Update (2020) at table 42, indicates the site only reaches one of the rural typology thresholds - Recreation Space - which at a standard of 2ha per 1,000 people equates to 20m per person. The document indicates an average standard of 2.3 per persons per dwelling which equates to 62.1 persons. Therefore the requirement is for 0.124ha Recreation Space. The illustrative layout indicates the landscape led scheme for the site would exceed that requirement.

4.4.35 Table 36 in the document sets out costs of provision for the purposes of calculating off-site open space provision. It is understood the required CIL compliant contribution would be calculated as part of the consideration of the planning application and secured via a S106 obligation. This could be used to enhance the play space and recreation facilities available within easy walking distance of the site, either at the playing fields next door and/or the equipped play space at the junction of Nether Leaze and Vale Road a short distance from the site.

## Habitats and Biodiversity Net Gain

4.4.36 Appropriate mitigation and enhancement measures have been proposed in order to avoid any adverse impacts on any protected species and moreover, deliver enhancements over the current situation. This includes establishment of chalk wildflower and grass mix, pond edge mix for the

SUDS, creation of a new native hedgerow and retention of high value mature trees and hedgerows along the site's boundaries.

4.4.37 Proposals will lead to a combined biodiversity net gain exceeding 10% as well as enhancement to habitat. Accordingly the proposals fully conform to the relevant legislative and planning policy framework pursuant to ecology and nature conservation.

## Landscape and NWDNL

4.4.38 The scheme has been landscape-led in response to its edge of countryside NWDNL location, where high densities and tall buildings or town houses would not be appropriate.

4.4.39 As an initial constraint, the key landscape features being mature trees and important hedgerows have been retained where possible and incorporated into the plan to provide key focal points, structure. In turn, these features also retain habitat connectivity, ensuring the easy management and longevity of these features.

4.4.40 The retained features also provide an overall framework for enhancement, using the root protection areas as an opportunity to establish much wider unmanaged wildflower areas than currently exist.

4.4.41 A proposed new mixed species native hedgerow, totalling 175m in length, will create a boundary between the built form of the development and the paddocks to the west. This increases the green infrastructure connectivity.

4.4.42 NPPF requirements for street trees, combined with new scattered native trees within the western boundary hedgerow will increase the 'stepping stones' of habitat across the local area.

4.4.43 Lighting within the development will be considered in line with policy to avoid impacts upon the NWDNL, neighbouring properties and the wider landscape, limiting the potential glare and spillage, in particular, in light sensitive locations such as habitat corridors and the rural edge.

4.4.44 The landscape strategy specifically addresses enhancement priorities listed in the Kennet and Avon Landscape Conservation Strategy:

- Plant up gaps in existing hedgerows, and create additional native hedgerow along the new western boundary and reinforce the widespread extension of the native hedgerow network;

- Use locally appropriate native trees and hedgerow species, whilst also including appropriate non-native species for climate change resilience;
- Retain existing boundary native trees and establish new native trees for succession. Existing and proposed trees will benefit from management and pest control by the adopted landscape management company;
- Replace any non-native hedgerow species within the site along Wilcot Road and to improve the landscape structure and management around the fringe of Pewsey.

4.4.45 In relation to the NWDNL setting, the layout provides new views out to the NWDNL vale landscape to offer appreciation of the contrast between the lower lying vale landscape and the backdrop of the chalk escarpment in the distance. Such views will be framed by the proposed native hedgerow boundary, which reinforces the identity of the development within the context of the village of Pewsey.



- Site Boundary
- Amenity Open Space
- Natural and Semi-Natural Open Space
- Other Open Space

Figure 34- Open Space

# 5.0 SUSTAINABILITY



## 5 SUSTAINABILITY

5.4.1 The Applicant is committed to achieving new development in a sustainable manner to ensure that natural resources are used prudently.

5.4.2 The development will incorporate, as far as possible, a strategy for sustainable design, which encourages the reduction of energy consumption and as such will at the reserved matters stage examine the contribution of a range of measures.

### 5.1 Location and layout

5.1.1 The location of the scheme is considered a sustainable location by virtue of its central location and close proximity to a range of services and facilities in Pewsey.

5.1.2 The layout has been designed to make the most efficient use of land by thoroughly identifying constraints and proposing a development with an appropriate density for the village edge location.

5.1.3 The site provides an opportunity for development in a location that is considered out of flood risk and has the opportunities to provide a significant SUDS and drainage strategy within the site.

5.1.4 Maximise sunlight and passive solar energy – the majority of development to be positioned broadly south.

5.1.5 The proposal incorporates a substantial amount of new public open space and allows for a substantive improvement in biodiversity enhancement of the open spaces and boundary features.

### 5.2 Drainage and SUDS

5.2.1 The following SUDS techniques are considered suitable for the development site subject to further ground investigations and engineering design. The following storm drainage strategy outlines how they could be utilised:

- Permeable paving / permeable sub base:
- Road side swales; and
- Attenuation / Bio-retention basin.

5.2.2 The final surface water runoff from the site will be strictly controlled via Sustainable Drainage Systems (SUDS) in the form of an attenuation basins. All main SUDS features will be designed to manage the 1 in 100 year return storm plus an extra allowance of 40% for the potential predicted increase in peak rainfall up to 2115.

### 5.3 Access and Movement

5.3.1 The site provides an opportunity for a development that will benefit from an existing bus service which provides access to both Pewsey, other settlements as well as a range of local services and facilities within walking distance.

5.3.2 The development will also benefit from having a comprehensive footway and cycle network ensuring that pedestrian access can be integrated as a fundamental part of the framework proposals.

5.3.3 By supporting the development with Travel Plan measures this will help reduce the need to travel, especially by car.

### 5.4 Water efficiency

5.4.1 Consideration will be given to the efficient use of water with up-to-date technologies:

- Landscaping will be designed to minimise irrigation needs.
- Consideration of water use in all stages of day to day living. Provision of Sustainable Urban Drainage Systems as part of the flood mitigation proposals;
- Sanitary appliances will be specified featuring low water fittings and 'in built' white goods chosen for their low water use; and
- Water butts fitted to collect rainwater for garden use;

### 5.5 Shade cooling and solar gain

- Consideration to be given to solar water heating panels incorporated into the south roof slopes will collect and make use of the suns energy to provide and supplement domestic hot water; and
- The properties have been carefully orientated to take full advantage of solar gain and have predominantly south facing roof slopes to accept solar panels.

## 5.6 Building and Materials

5.6.1 The details of the sustainable credentials of the built form are not known at this stage but would suggest that the following may be considered

- In-built 'robustness' and ability of the development, to adapt to changes such as use, lifestyle and demography over time
- Use of sustainably resourced natural and renewable materials
- Low energy light fittings specified to reduce energy consumption
- Mechanical ventilation systems with heat recovery and filters fitted to give a controlled internal environment
- AAA appliances where provided will reduce power consumption
- Minimise carbon emissions
- Reduce energy demand to the lowest possible levels;
- Use the best available low or zero carbon technology; and
- Minimisation of waste throughout the project including construction.

